

ORDINANCE NO. 2025/XX

AN ORDINANCE AMENDING THE ZONING CODE OF GREENFIELD, INDIANA

BE IT ORDAINED BY THE COMMON COUNCIL OF THE CITY OF GREENFIELD, INDIANA, UNDER AUTHORITY OF THE INDIANA ADVISORY PLANNING LAW, I.C. 536-7-4, AND ALL ACTS AMENDATORY OR SUPPLEMENTAL THERETO.

SECTION I.

That Section 155.006 ZONE MAP of the Greenfield UDO, Chapter 155 of the CODE OF ORDINANCES OF GREENFIELD, INDIANA, is amended as follows:

The Zone Map referred to in Section 155.006, known as the ZONE MAP, GREENFIELD, INDIANA-2020, as amended, and referred to as the “Official Zone Map” is hereby amended by reclassifying the following described area to the “PUD” Planned Unit Development District:

Legal Description

A part of the West Half of the Northwest Quarter of Section 36, Township 16 North, Range 6 East of the Second Principal Meridian, Center Township, Hancock County, Indiana. This description prepared by: William A. Neumeier, Indiana LS 22300018, working for Stoeppelwerth and Associates, Inc. as part of Project 109339DRH-S1, being more particularly described as follows:

Beginning at a railroad spike found 0.1 feet below grade in the intersection of Windswept Road & County Road 100 North, said spike marking the Northeast Corner of said Half Quarter Section; thence South 00 degrees 42 minutes 02 seconds East, along the East line of said Half Quarter Section, a distance of 536.63 feet to a MAG nail found flush in the pavement marking the Northeast corner of a 0.53-acre tract of land described in Instrument Number 140002896 in the Office of the Recorder of Hancock, Indiana; thence along the boundary of said 0.53-acre tract the following 3 courses; (1) South 89 degrees 09 minutes 09 seconds West, parallel with the North line of said Quarter Section, a distance of 200.00 feet to an American Structurepoint, Inc. rebar found 0.3 feet below grade; (2) South 00 degrees 42 minutes 02 seconds East, parallel with the East line of said Half Quarter Section, a distance of 115.00 feet to an American Structurepoint, Inc. rebar found 0.3 feet below grade; (3) North 89 degrees 09 minutes 09 seconds East, parallel with said North line, a distance of 200.00 feet to a MAG nail found flush in the pavement marking the Southeast corner of said 0.53-acre tract; thence South 00 degrees 42 minutes 02 seconds East, along the East line of said Half Quarter Section, a distance of 391.54 feet; thence South 89 degrees 17 minutes 58 seconds West, a distance of 50.00 feet; thence South 44 degrees 13 minutes 36 seconds West, a distance of 35.40 feet; thence South 89 degrees 09 minutes 14 seconds West, a distance of 705.39 feet to a point on a curve concave northerly, the radius point of which bears North 00 degrees 50 minutes 46 seconds West, a distance of 475.00 feet from said point; thence westerly along said curve, an arc length of 14.82 feet to a point on said curve, said point being South 00 degrees 56 minutes 31 seconds West, a distance of 475.00 feet from the radius point of said curve; thence North 00 degrees 50 minutes 46 seconds West, a point; thence westerly along said curve, an arc length of 14.82 feet to a point on said curve, said point being South 00 degrees 56 minutes

31 seconds West, a distance of 475.00 feet from the radius point of said curve; thence North 00 degrees 50 minutes 46 seconds West, a distance of 112.10 feet; thence North 09 degrees 50 minutes 35 seconds West, a distance of 21.58 feet; thence North 45 degrees 45 minutes 07 seconds West, a distance of 43.69 feet to a 5/8-inch rebar found 0.2 feet below grade marking the Southeast corner of a 10.00-acre tract of land described in Instrument Number 201912774; thence North 00 degrees 37 minutes 21 seconds West, along the East line of said tract, a distance of 903.44 feet to a MAG nail found flush in the pavement marking the Northeast corner thereof; thence North 89 degrees 09 minutes 09 seconds East, along the North line of said Quarter Section, a distance of 828.62 feet to the Point of Beginning, containing 19.654 acres, more or less.

The above-described real estate shall be developed in accordance with the terms, conditions and statements of the Cook's Corner Planned Unit Development Statement attached hereto as Exhibit 1, and by reference the Planned Unit Development Statement is incorporated herein.

Exhibit “1”
Planned Unit Development Statement

Cook's Corner Planned Unit Development Statement

Development Standards

SECTION II. STATEMENT OF PURPOSE AND INTENT:

This PUD is being requested due to the loss of our original builder that was contracted to build the approved Duplex product for Cook's Corner. After the loss of our builder, we approached multiple other builders with a Duplex product line and could not find another interested party. We met with Staff on May 28, 2025, to discuss other options and in that meeting, Staff recommended we pursue a PUD request in order to continue to offer a more affordable product on a narrower lot. We were encouraged by our discussions with Staff and moved forward with the filing of the attached Cook's Corner PUD. The following PUD Ordinance maintains the same lot size approved for the Duplex lot with a simple change from an attached product to a detached single-family home.

The following standards are intended to carry out the design goals of this planned community.

SECTION III. AUTHORITY

These standards shall apply to all property contained within the Development, as described herein. These regulations and requirements shall become part of the Planned Unit Development Ordinance and shall provide the governing standards for review, approval, and modification of all land use and development activities occurring within the Development. The provisions of these Standards shall prevail and govern construction of the Development, superseding any existing zoning ordinance. The zoning ordinances and regulations of the RM - Residential Moderate Density District of the Unified Development Ordinance, which are effective at the time of Ordinance shall apply if the provisions of these Standards do not address a specific subject. For convenience, a full copy of the RM standards is attached as Exhibit "2" to this Ordinance.

SECTION IV. SITE LOCATION

Cook's Corner is a proposed planned unit, residential neighborhood, consisting of approximately Nineteen point Six Five (19.65) acres located on the Southwest corner of Windswept Road and W. McKenzie Road.

SECTION V. LAND USE & DEVELOPMENT STANDARDS

TABLE 1. RESIDENTIAL DEVELOPMENT SUMMARY

Acreage PUD	19.65 Acres
Number of Lots PUD	72 single family lots
Density PUD	3.66/Lots per Acre
Common Area PUD	3.155 Acres (16.06%)
Underlying Zoning	RM - Residential Moderate Density District

TABLE 2. LAND USE CATEGORIES

Use	Maximum Number of Lots	Lot Standards
Detached Single Family Residential	72	Single Family 46' Lot

GENERAL DESCRIPTION

The proposed PUD Development, named Cook's Corner, is a single-family residential neighborhood. The PUD will provide a second product offering to the approved Cook's Corner neighborhood. The Cook's Corner Development will be governed by a strict set of Covenants, Conditions, and Restrictions, which include provisions to ensure that the subdivision and infrastructure are properly maintained.

Cook's Corner features a mix of passive and active open spaces, including tree-lined streets, natural areas, playground, shelter and perimeter roadway paths that connect the neighborhood.

HOUSING TYPES

The Cook's Corner PUD will provide Greenfield with market obtainable housing to include 46' wide lots. The single family detached home on the 46' wide lot will provide obtainable homes for first-time homebuyers in Greenfield.

COMMUNITY BENEFITS

Cook's Corner is designed to be a community that serves a wide array of residents, by addressing the affordability of housing with the proposed PUD along with larger lot sizes being offered in the remaining community.

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TABLE 3. RESIDENTIAL DEVELOPMENT STANDARDS

Item	Requirement
Minimum Lot Width	46'
Minimum Lot Area	6,333 SF
Minimum Front Building Setback	25'
Minimum Side Yard Setback	5'
Minimum Distance between Buildings	12'
Minimum Rear Yard Setback	20' Minimum plus any distance dedicated to a rear easement
Minimum Rear Yard Clearance from Back of Primary Building to an Easement	20'
Maximum Building Height	35'
Lot Coverage	Lot coverage shall not exceed forty-five percent (45%) of the lot area.
Required Lot Open Space	Minimum twenty-five percent (25%) usable lot open space shall be provided (includes patios, decks, pools, and other recreational facilities not under roof)
Front Doors	All doors on front façade shall have integrated windows
Garages and Driveways	Each house shall have an attached garage that accommodates no fewer than two (2) cars. All driveways shall be concrete.
Exterior Colors	Bold and neutral color palettes shall be permitted on home exteriors. A mixed palette on a single building should be carefully selected so that all colors are harmonious with each other.
Exterior Materials	Primary buildings utilize traditional-looking building materials including brick, stone, wood or composite lap siding, E.I.F.S, or heavy-gage vinyl siding. The minimum thickness of vinyl siding shall be 0.044 inches.
Exterior Lighting	Each garage door shall be flanked by decorative lighting fixtures affixed to or near to the sides of the garage door entryways.

TABLE 4. ARCHITECTURAL STANDARD MODIFICATIONS

All Standards in Section 155.101 of the Zoning Ordinance; DESIGN STANDARDS FOR SINGLE-UNIT/MULTI-UNIT DWELLINGS shall be met with the following exceptions; however, the developer reserves the right to file for modifications with Planning Commission from Design Standards, per Section 155.105:

Ordinance Standard to be Modified	Modified Language
§155.101 2(D) – Monolithic Exterior	Monolithic exterior building walls are prohibited. A minimum of one (1) window (at the required size in subsection 4) per façade, per above-grade story, is required on all sides of the structure. Proposed Language: The Minimum 9 square foot window required for the first-floor window of the front elevation will be replaced with a 2030 (6 square foot) window along with a window in the front door and windows in garage door. Rationale: The width of the home, including the garage makes it difficult to install the required 9 square foot window on the first floor. The standard on the 46' lots will have windows in the front door and garage with a 2030 Window on the first story as shown on the Architectural plans provided with the PUD for Cook's Corner. The total window square footage in the amendment will exceed the min. 9 sf requirement
§155.101 5(A) -- Garage Façade	If the total width of all garage door openings is 50 percent or less of the total width of the façade, the garages may be front-loading. Proposed Language: If the total width of all garage door openings are 55 percent or less of the total width of the façade, the garages may be front-loading. All garage doors will be decorative in style and contain windows similar to the Architectural plans provided. Carriage lights will also be provided on either side of the garage door. Rationale: Additional flexibility is necessary to provide large enough garage access for a 2 car garage on the 46' lots. The windows in the garage will help to break up the garage door portion of the front façade.

SECTION VI. STATEMENT OF COMMITMENTS:

Open Space, Landscaping, and Screening Commitments

1. Open Space: The open space shall be in conformance with the final development plan. All homes as shown on the Preliminary Plat will back up to Common Area. All common open space shall be owned and maintained by the HOA.
2. Landscaping:
 - a. Landscaping shall be provided in accordance with the applicable sections of the Unified Development Ordinance and the Greenfield Code of Ordinances. Landscaping species shall be consistent with the Unified Development Ordinance and the Greenfield Code of Ordinances, but the right to substitute based on material availability is reserved. A Minimum 30' Landscape Buffer yard will be provided along McKenzie Road and Windswept Road as shown on the landscape plan. A detailed landscaping plan has been included with the Preliminary Plat. Any modifications to the landscape plan shall be approved by the appropriate parties.
 - b. A 30' Landscape area and a 6' white vinyl privacy fence shall be constructed along the border of the Fralich Landscaping business at address 959 W 100 North. The proposed fence will be maintained by Cook's Corner HOA.
 - c. All common area landscaping shall be owned and maintained by the HOA.
 - d. Street trees shall be installed per the landscape plan included with the Preliminary Plat.
 - e. All lots shall provide a landscape package consisting of foundation plantings and at least one (1) lawn tree.
3. Pedestrian Connections:
 - a. Pedestrian pathways will be installed along Windswept Road and McKenzie Road.
 - b. Pedestrian pathways outside the right-of-way will be maintained by the HOA.
4. Additional Commitments:
 - a. All house plans shall be submitted and architecturally approved by the Plan Commission, which approval shall not be unreasonably withheld.

SECTION VII. ORDER AND ESTIMATED TIME OF DEVELOPMENT

Cook's Corner PUD (Section 1B) is estimated to begin construction in January of 2026, pending final approvals.

Monument Signage

Proposed Entry Monument for McKenzie Road Entrance

COOK'S CORNER



Cook's Corner PUD Concept Plan



Cook's Corner Area Map

COOK'S CORNER Greenfield, Indiana



Area A
Estate lots
Area B
60' wide
Area C
46' wide

2 lots
142 lots
72 lots

site - 96.382ac±
(2) 4.0 ac± estate lot
total lots - 216
density 2.26u/a



**Arbor Homes Arrival Series
Berlin**



**Arbor Homes Arrival Series
Coach**



**Arbor Homes Arrival Series
Gladstone**



**Arbor Homes Arrival Series
Rockaway**



**Arbor Homes Arrival Series
Victoria**



Exhibit “2”
RM Development Standards Attachment

155.016 RM – RESIDENTIAL MODERATE DENSITY

1. Purpose and Intent

The “RM” Residential Moderate Density District is intended to regulate all land in the city platted for medium scale suburban residential development. The existing development pattern in the RM is traditional suburban subdivisions and multi-family developments. The desired development pattern in the RM is to accommodate a mix of traditional single-family residential developments and multi-unit developments, with some variations in sizes and styles to meet diverse market desires. Ideal developments should create welcoming neighborhood settings with excellent road and pedestrian connectivity to adjacent developments, perimeter trails, open space, and neighborhoods for all ages. This District is intended to promote a range of housing types and densities that create diverse combinations of neighborhoods. The permitted range of densities for this district shall be as follows:

Development Type	Density Range
One- and Two-Unit	One or less to five (<1-5) dwelling units per acre
Multi-Unit Single Story	Three to ten (3 -10) dwelling units per acre
Multi-Unit Two (2) Story	Five to fourteen (5 -14) dwelling units per acre
Multi-Unit Three (3) Story or More	Twelve to twenty (12-20) dwelling units per acre

2. Permitted and Conditional Uses

See Table **155.007** for uses permitted by district. Some uses may require Development Plan Approval. Other uses similar to those allowed in this district may be considered by the Board of Zoning Appeals as a Conditional Use application provided that the Board finds that the requested use is consistent with the spirit and intent of this ordinance and the Comprehensive Plan.

3. Building Placement and Dimensional Standards

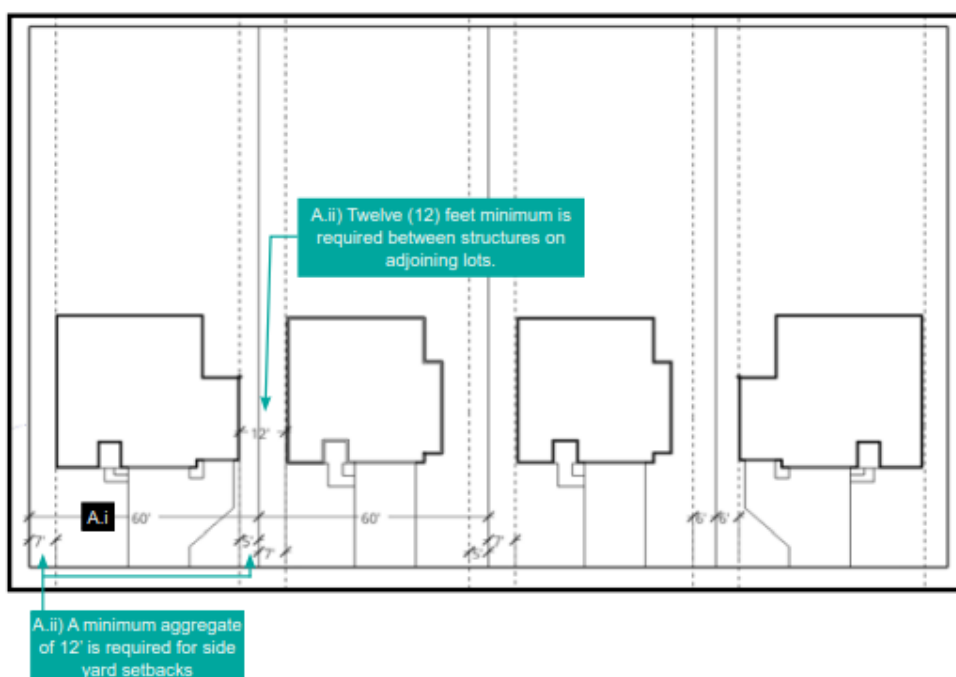
Structures in the RM shall be developed in accordance with the following standards per the individual development tables and contain uses allowed in the district per **155.007**. **Table A** applies to Residential Single and Two-Unit Structures, and **Table B** applies to all other structures within the RM District:

A. Residential Single- and Two-Unit Development Standards	
Dimension	Standard
i. Lot Standards	Lot Width: Sixty (60) feet minimum single family; ninety (90) feet two-family Lot Area: Seven thousand (7,000) square feet minimum
ii. Setbacks <i>Parcels platted under previous codes shall follow the setbacks platted.</i>	Front Lot Line: Twenty five (25) feet minimum Side Lot Line: Twelve (12) feet (lot aggregate) with five (5) feet minimum per side; Twelve (12) feet minimum distance required between structures on adjoining lots Rear Lot Line: Twenty (20) feet minimum plus any distance dedicated to a rear easement
iii. Principal Building Height	Thirty five (35) feet maximum
iv. Lot Coverage/Required Open Space	Lot coverage shall not exceed forty five percent (45%) of the lot area. Minimum twenty five percent (25%) usable lot open space shall be provided (Includes patios, decks, pools and other recreational facilities not under roof.).
v. Accessory Building Location	Rear yard or side yard, such that the accessory building shall be located behind the any front façade of the primary structure or other façade facing a street <i>*Accessory buildings must be located outside of any easements</i>

vi. Accessory Building Setbacks	Side Lot Line: Five (5) feet* minimum, or the distance of any side easement on the property, whichever is greater Rear Lot Line: Ten (10) feet* minimum, or the distance of any rear easement on the property, whichever is greater <i>*Accessory Dwelling Units shall follow the setbacks of the primary structure.</i>
vii. Accessory Building Height	Twenty (20) feet maximum height, or subordinate in height to the primary structure, whichever is less
viii. Accessory Building Size	One thousand (1000) total square feet in size for all accessory structures on a single property, or no more than eighty percent (80%) of the main floor area of the primary structure, whichever is less
ix. Parking Location	Garages may be side, rear, or front-loading

B. Multi-Unit Residential and All Other Structures and Development Types

Dimension	Standard
i. Lot Standards	Lot Width: N/A Lot Area: N/A
ii. Setbacks <i>Parcels platted under previous codes shall follow the setbacks platted.</i>	Front: Twenty five (25) feet minimum Side: Fifteen (15) feet minimum, twenty five (25) feet if abutting the RL District Rear: Fifteen (15) feet minimum, twenty five (25) if abutting the RL District
iii. Multi-Unit dwellings interior setbacks	Between structures: Dwelling unit with window, thirty (30) feet minimum from adjacent structure. Setbacks between structures twenty (20) minimum feet. <i>* See 155.103, 7, A & B</i>
iv. Principal Building Height	Forty five (45) feet maximum
v. Lot Coverage/Required Open Space	Lot coverage shall not exceed sixty five percent (65%) of the lot area. Minimum fifteen percent (15%) usable open space shall be provided (excluding impervious surfaces). Drainage ponds, play areas, common areas, and the like may apply toward this provision.
vi. Accessory Building Location/ Setbacks	Shall be located in rear yard only. Shall follow that of B.ii <i>*Accessory buildings must be located outside of any easements</i>
vii. Accessory Building Height	Twenty (20) feet maximum height, or subordinate in height to the primary structure, whichever is less
viii. Parking Location	Not more than twenty percent (20%) of parking shall be located in any front yard of any development in the RM District. Parking areas shall be screened and buffered in accordance with the Landscaping Section 155.063 .



4. Additional Standards

The following table contains additional major sections that are common references needed across districts. This list is not meant to be considered an exhaustive list, and other sections may apply to individual properties or projects.

Common Sections of Pertinent Reference	
155.050 Accessory Structures and Uses	155.069 Intersection Site Visibility
155.052 Wireless Facilities	155.083 Development Plan Approval
155.063 Landscaping & Buffering	155.093 Variances
155.064 Fences, Appurtenant Structures, & Screening	155.094 Conditional Uses
155.065 Signs	155.101 Design Standards for One- & Two-Unit Structures
155.066 Parking and Loading, Off-Street	155.102 Design Standards for Residential Accessory Structures
155.067 Driveways	155.103 Design Standards for Multi-Unit Dwellings
155.068 Access, Frontage, and Sidewalks	155.105 Modifications from Design Standards

SECTION VIII.

This Ordinance shall be in full force and effect from and after its passage as provided by law.

SECTION IX.

Introduced and filed on the _____ day of _____, 2025. A motion to consider on first reading on the day of introduction was offered and sustained by a vote of _____ in favor and _____ opposed pursuant to I.C. 36-5-2-9.8. On the _____ day of _____, 2025, a motion to approve the above on second reading was offered and sustained by a vote of _____ in favor and _____ opposed pursuant to I.C. 36-5-2-9.8. Upon a motion to approve the above on third reading was offered and sustained by a vote of _____ in favor and _____ opposed pursuant to I.C. 36-5-2-9.8.

Duly ordained and passed this _____ day of _____, 2025 by the Common Council of the City of Greenfield, Indiana, having been passed by a vote of _____ in favor and _____ opposed.

COMMON COUNCIL OF THE CITY OF GREENFIELD, INDIANA

Voting Affirmative

Voting Opposed

John Jester

John Jester

Amy Kirkpatrick

Amy Kirkpatrick

Jeff Lowder

Jeff Lowder

Thomas Moore

Thomas Moore

Joyce Plisinski

Joyce Plisinski

Dan Riley

Dan Riley

Anthony Scott

Anthony Scott

ATTEST:

Lori Elmore, Clerk-Treasurer

Presented by me to the Mayor this _____ day of _____, 2025.

Lori Elmore, Clerk-Treasurer

Approved by me this _____ day of _____, 2025.

Guy Titus, Mayor, City of Greenfield

This instrument was prepared by Richard A. Henderson.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law. NAME