

RCU25-07 1176 E. McKenzie Rd., Park Chapel Christian Church, Eric Carter, Weihe Engineers, Applicant, requests approval of a Conditional Use for a building addition to an existing religious use, zoned Residential Moderate, 10.5 acres +/-

- EXHIBITS:
- Site plan file dated June 27, 2025
 - Building Elevation/Floor Plan dated June 27, 2025
 - Landscape Plan dated July 22, 2025
 - Lighting Plan dated July 22, 2025
 - Utility Plan dated July 22, 2025



- Surrounding Uses**
- North: "RM" Residential Moderate
 - South: "RL" Residential Low
 - East: "PUD" Planned Unit Development
 - West: "RL" Residential Low

Site History
Park Chapel Christian Church is located on a 10.5 acre site located near the Northeast corner of Apple St. and McKenzie Rd. The structure is currently 51,840 square feet. Subdivisions exist on all sides of the church property. The church was originally established in 1993 as a permitted use under the former zoning code. The property is currently zoned Residential Moderate, and the UDO list churches as Conditional Uses in this district. In 2014 Park Chapel Christian Church received Conditional Use approval to expand parking on four lots along Apple St. that were previously used as single-family dwellings.

Current Proposal

The petitioner is seeking Conditional Use approval to expand the existing structure with a two-story 26,000 square foot addition located on the west side of the existing building. This addition will include a gymnasium with spectator seating, a galley kitchen, lobby, religious classrooms, offices and restrooms. The gymnasium will serve a doug propose and also be utilized as a banquet room.

Technical Review

The proposal was taken to the Technical Review Committee for review. There will be underground storm water detention that is still in review with the City's consultant. The Greenfield Fire Territory has requested additional information and an additional hydrant. These items are currently be workout with the necessary departments.

CONDITIONAL USE FINDINGS

Section 155.094 of the Greenfield Zoning Ordinance addresses the approval procedures for conditional uses. The Board of Zoning Appeals shall approve or approve with conditions conditional use petitions "if the Board finds that the proposal complies with any specific regulations governing individual conditional uses, and that satisfactory provision and arrangement has been made concerning the following, where applicable:"

- (a) Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow, and control and access in case of fire and catastrophe.**

Findings: There is adequate existing traffic flow and access for traffic and emergency response vehicles from both E. McKenzie Rd. and Apple St. There are existing sidewalks along E. McKenzie Rd to provide pedestrian access to the property.

- (b) Off-street parking and loading areas, with particular attention to the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district.**

Findings: The property will contain 562 parking spaces, 12 of which are handicapped spaces. This number exceeds the requirement for parking spaces needed after the addition is constructed. A lighting plan was submitted and meets the requirements for light spillage. As to noise, glare or odor effects on adjoining properties staff has determined that parking will not have negative effects and will not be different than the current use.

- (c) Refuse and service areas.**

Findings: The petitioner has not proposed a new refuse area and will be utilizing the existing refuse area.

- (d) Special screening and buffering with reference to type, dimensions, and character.**

Findings: No special screening or buffering is required for this project as there are existing landscape screens around the property. The petitioner will be adding additional plantings around the new addition as well as landscaping the existing parking lot islands leading to existing parking on the north side of the property. These plantings have been reviewed and approved by the Planning Director.

- (e) Signs and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district.**

Findings: The petition does not include a request for signage.

(f) Additional setback distances, yards, and other open space.

Findings: The addition is well within the required setbacks, therefore no additional setbacks or yards are proposed or required by this petition.

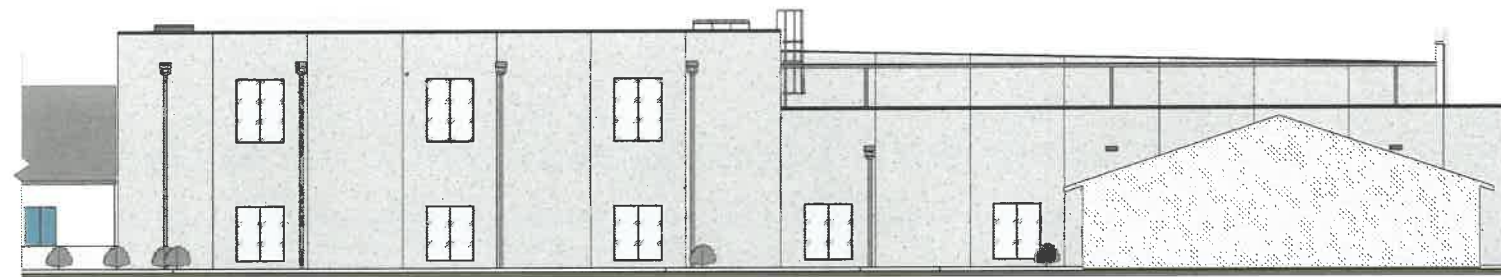
(g) General compatibility with adjoining properties, with reference to site development standards designed for their mutual protection and the environmental harmony of the district.

Findings: The property has been used as a church since 1993. The Comprehensive Plan designates this area as a neighborhood center. Staff finds that the proposed use will be compatible with the surrounding environment and fit within the recommendation of the Comprehensive Plan.

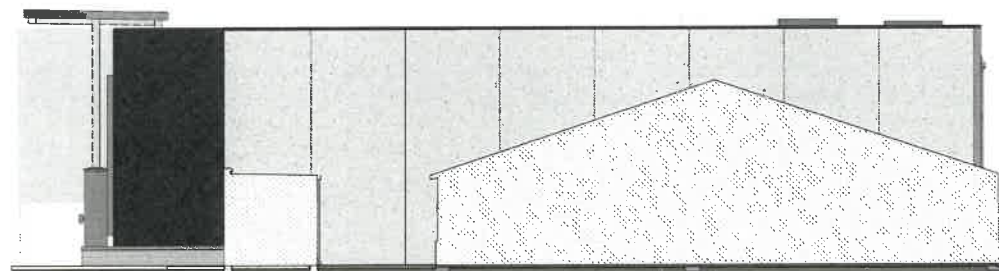
All conditional use approvals shall be considered to be conditional approvals. The Board shall have the authority to impose specific conditions as part of its approval in order to protect the public health, and for reasons of safety, comfort, and convenience (e.g., to ensure compatibility with surroundings.) Conditional use approval applies to the subject property and may be transferred with ownership of the subject property dependent upon the provisions and conditions prescribed by or made pursuant to the Zoning Ordinance.

Staff Recommendation: Approve the conditional use to expand the existing church with a 26,000 square foot addition with the following conditions:

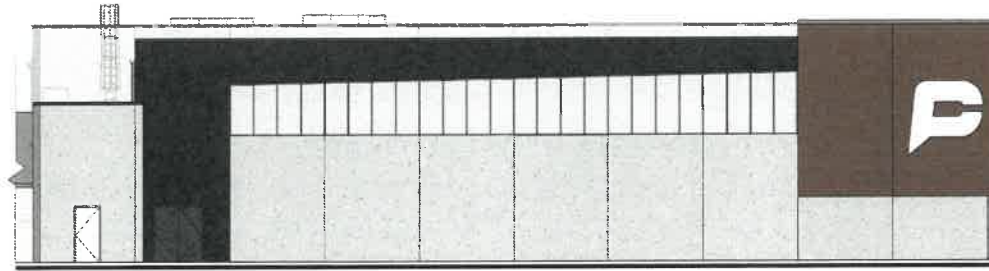
1. All items from the Technical Review Committee are to be addressed prior to permitting.
2. All necessary building permits are obtained.



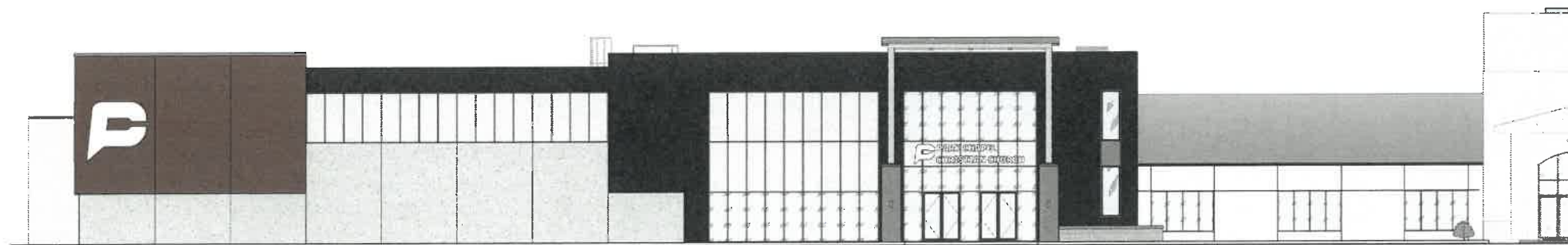
/// N ELEVATION 1C
SCALE: 1/8" = 1'-0"



/// SE ELEVATION 4B
SCALE: 1/8" = 1'-0"



/// W ELEVATION 1B
SCALE: 1/8" = 1'-0"



/// SW ELEVATION 1A
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS KEY	
SYMBOL	DESCRIPTION
	PAINT: EXTERIOR WALLS, ROOF, COLOR: WHITE, FINISH: SMOOTH
	BRICK: EXTERIOR WALLS, COLOR: RED, FINISH: GLAZED
	CONCRETE: EXTERIOR WALLS, COLOR: GREY, FINISH: SMOOTH
	METAL: EXTERIOR WALLS, COLOR: BLACK, FINISH: SMOOTH
	GLASS: EXTERIOR WALLS, COLOR: CLEAR, FINISH: SMOOTH
	STONE: EXTERIOR WALLS, COLOR: GREY, FINISH: SMOOTH
	WOOD: EXTERIOR WALLS, COLOR: BROWN, FINISH: SMOOTH
	TILE: EXTERIOR WALLS, COLOR: WHITE, FINISH: SMOOTH
	STUCCO: EXTERIOR WALLS, COLOR: WHITE, FINISH: SMOOTH
	SIDING: EXTERIOR WALLS, COLOR: WHITE, FINISH: SMOOTH
	SHINGLES: EXTERIOR WALLS, COLOR: BROWN, FINISH: SMOOTH
	SLATE: EXTERIOR WALLS, COLOR: GREY, FINISH: SMOOTH
	MARBLE: EXTERIOR WALLS, COLOR: WHITE, FINISH: SMOOTH
	GRANITE: EXTERIOR WALLS, COLOR: GREY, FINISH: SMOOTH
	QUARTZ: EXTERIOR WALLS, COLOR: WHITE, FINISH: SMOOTH
	LIMESTONE: EXTERIOR WALLS, COLOR: GREY, FINISH: SMOOTH
	SANDSTONE: EXTERIOR WALLS, COLOR: BROWN, FINISH: SMOOTH
	TRAVERTINE: EXTERIOR WALLS, COLOR: GREY, FINISH: SMOOTH
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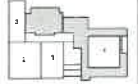
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KEYNOTE LEGEND - ROOF	
KEY	KEYNOTE TEXT

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CONSTRUCTION

PROJECT NAME
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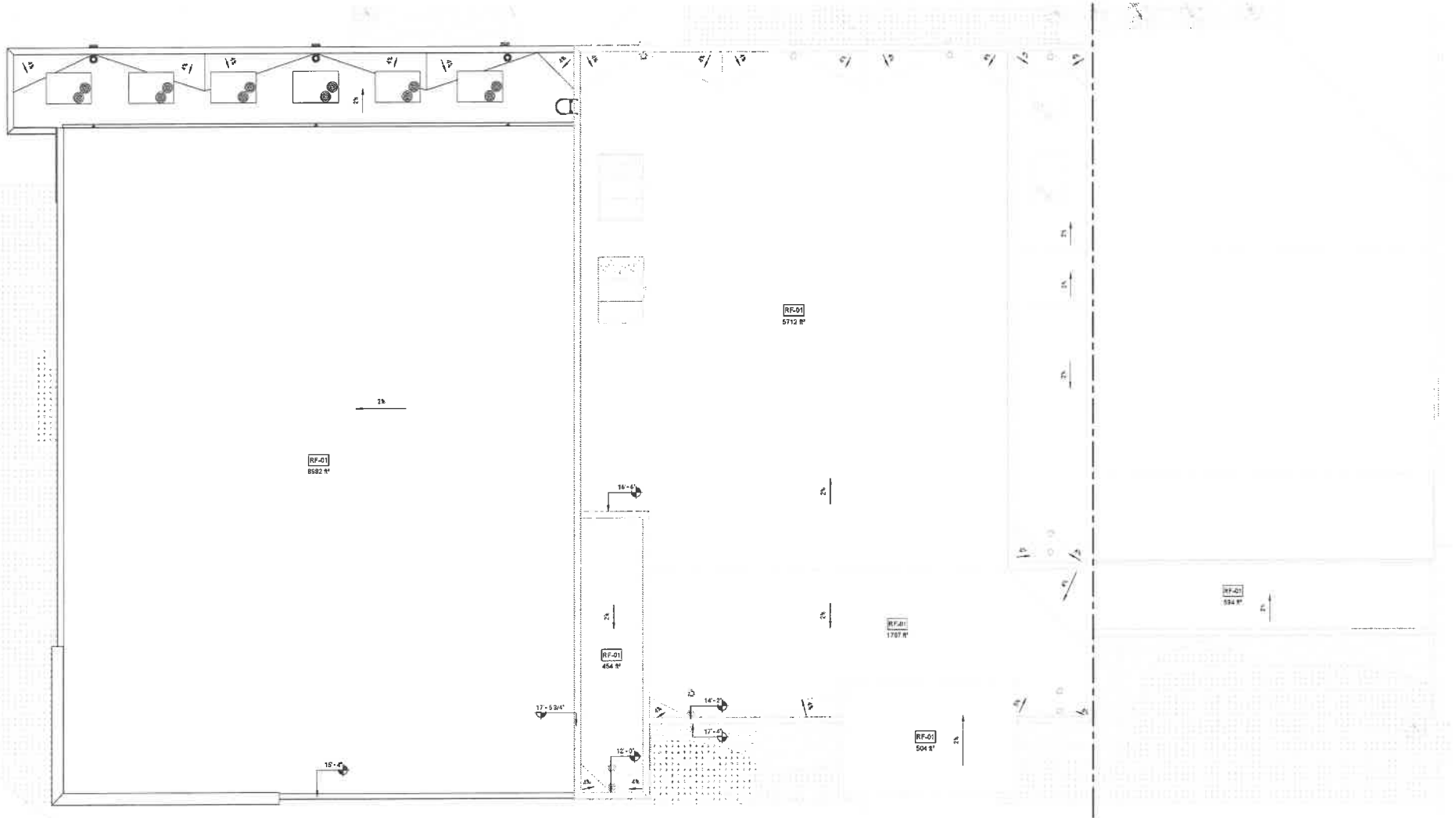
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2011.05.11

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ROOF PLAN - PROPOSED
PHASE 2

PROJECT NUMBER
24-575

SCALE
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DRAWING NUMBER
A-224



/// ROOF - PROPOSED PHASE 2 1A
SCALE: 1/8" = 1'-0" 11/11/11



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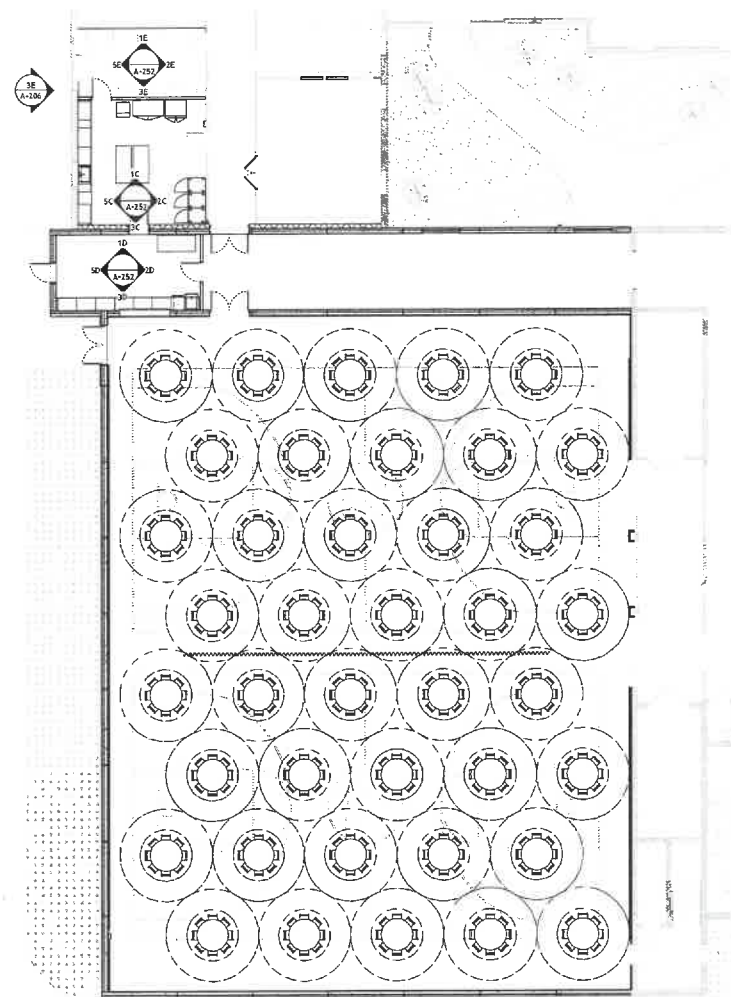
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PARK CHAPEL
1176 E MCKENZIE RD,
GREENFIELD, IN 46140

CLIENT NAME
BETH PROPERTIES
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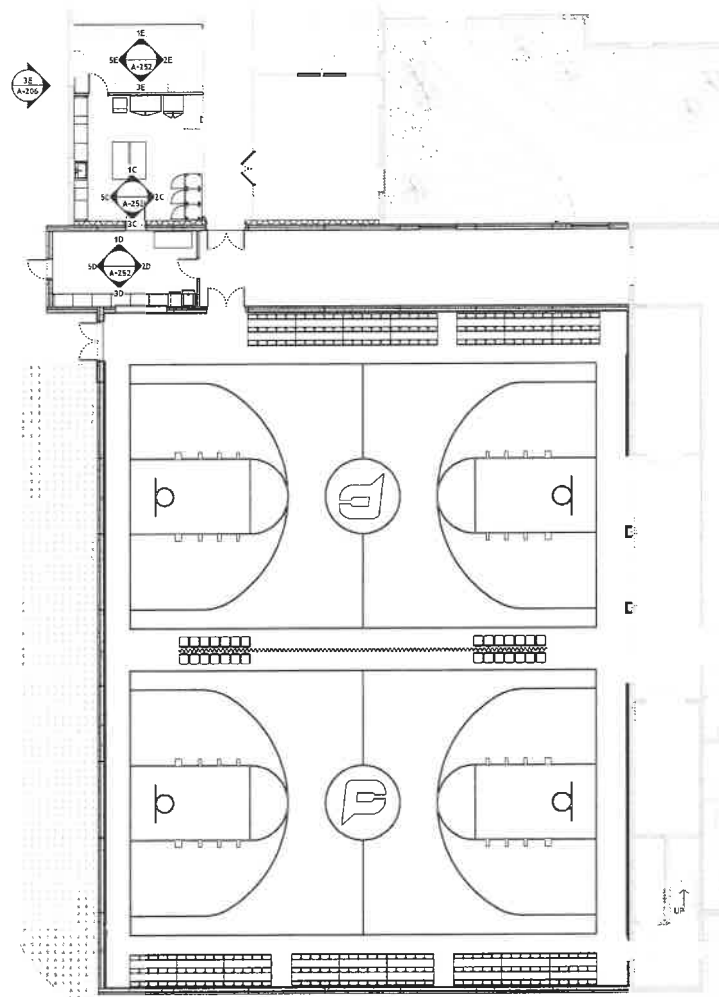
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SCALE
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DRAWING NUMBER
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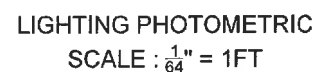
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SCALE: 1" = 10'-0"






/// FURNITURE PLAN - GYM - PHASE 2 1A
SCALE: 1" = 10'-0"

GENERAL PLAN NOTES:

- MH: AS NOTED
- POINTS CALCULATED AT: GRADE
- LIGHT LOSS FACTOR: AS NOTED
- CONTACT KRISTI MCGRADY FOR PRICING/QUOTATION INFORMATION



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Paved Areas Grade		0.1 fc	4.6 fc	0.0 fc	N/A	N/A
Property Line Grade		0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Site Grade		0.1 fc	9.1 fc	0.0 fc	N/A	N/A

Schedule									
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Current per Lamp	LLF	Watts
	EX-4		9	EXISTING GUAD. HEAD POLE		MOUNTED AT 37'-0" ON 24" POLE WITH 2'-4" BASE	10106	0.8	281.8
	EX-2		3	EXISTING DOUBLE HEAD POLE		MOUNTED AT 37'-0" ON 24" POLE WITH 2'-4" BASE	10106	0.6	148.8
	EX W13		3	EXISTING WALLPACK	HPVAL75 PE100	7'-0"	2283	0.8	15.8
	EX W14		3	EXISTING WALLPACK	HPVAL 220 MT PER/20		4561	0.8	67.9
	EX W17		3	EXISTING WALLPACK	HPVAL 100 MT PER/20		9347	0.8	36.6
	W1		4	Ultrasec Lighting	WPX1 LED P1 40K Mvbl	WPX1 LED wallpack 1550lm 4000K color temperature 120-277 Vblts - Mounted at 8'-0"	1568	0.95	11.47
	W2		1	Ultrasec Lighting	WPX1 LED P2 40K Mvbl	WPX1 LED wallpack 3000lm 4000K color temperature 120-277 Vblts Mounted at 12'-0"	2913	0.95	24.43
	W3		3	Ultrasec Lighting	WMCL4 LpCoemight-4000K 75 Base	LED lamp - Mounted at 7'-0"	2442	0.95	19.81



Disclaimer

This lighting analysis is strictly based on the information provided to LCH Technica, and is provided without warranty as to accuracy, completeness, reliability or timeliness. If the information is outdated or limited to four-phase, reflected ceiling plans, electrical loads and specifications provided to LCH Technica is incomplete or not current (e.g., new items added), the accuracy of proposed design may be adversely affected. Once the lighting analysis is received by the customer or end-user (or implemented), the acceptance of the customer or end-user (or implementation) with a professional engineering adviser to determine what, if any, proposed design meets the applicable project requirements for lighting systems performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will LCH Technica be responsible for any loss resulting from the use of this analysis.

[illegible]

LIGHT|SOURCE

6719 CASTLE PARK DRIVE
INDIANAPOLIS, IN 46256
WWW.LIGHTSOURCEINDIANA.COM
p:317-598-6900

Donnerstag, 1. April 2010

PARK CHAPEL

EXTERIOR LIGHTING PHOTOMETRIC

Drawn By **ADH**

As Noted

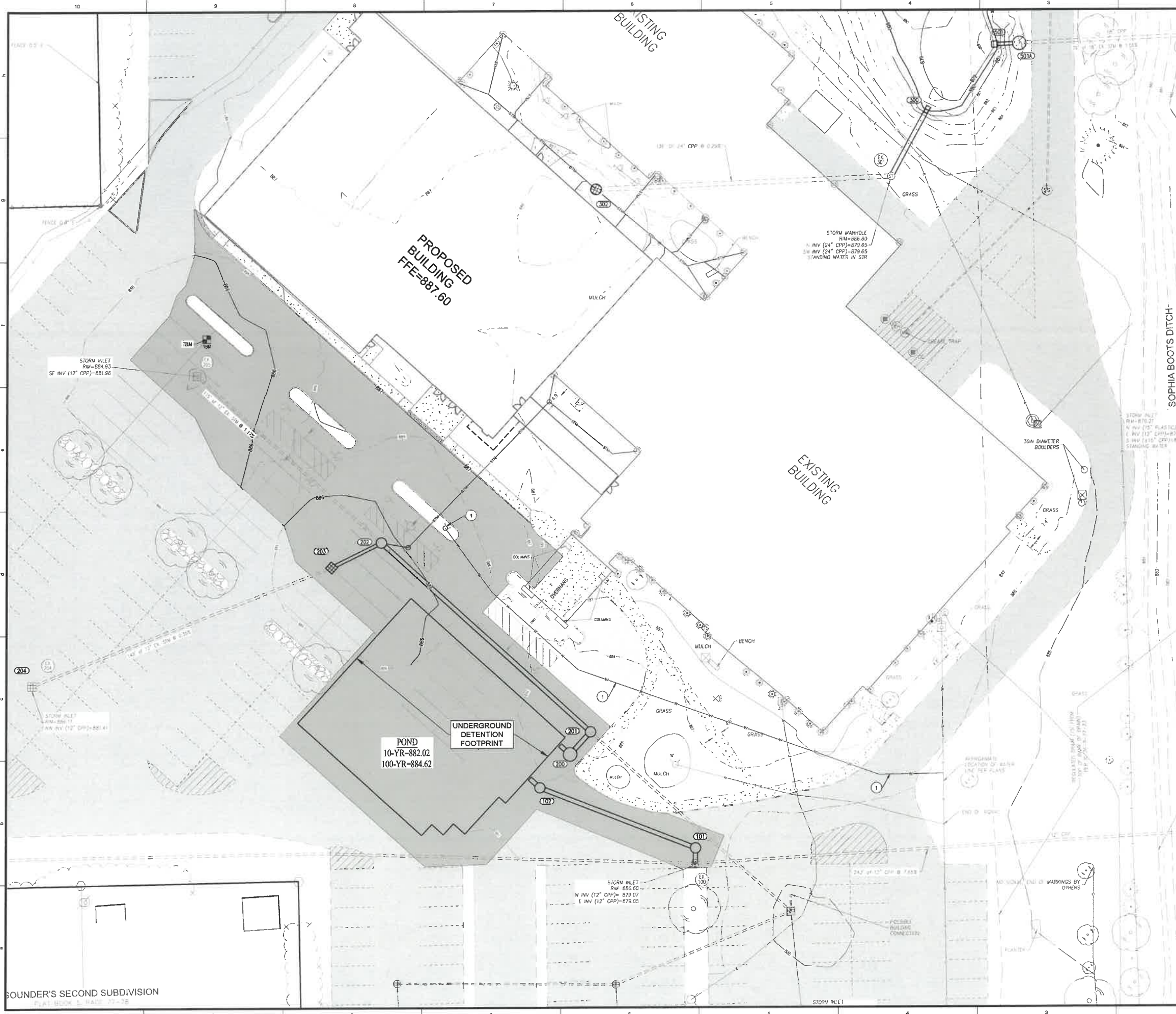
Date 7/18/2025

Drawing 8
LS-25-2232 SITE

Sheet No. **E101**

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User: jcamp
Plot Date: 10/27/2016 11:27:23 AM
Plot Time: 11:27:23 AM

SOUNDER'S SECOND SUBDIVISION
PLAT BOOK 5, PAGE 37-38



UTILITY PLAN NOTE

1. PROPOSED FIRE HYDRANT ASSEMBLY WITH 6" PE PRIVATE WATER MAIN.

GENERAL NOTES

1. THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18055C0142D, DATED DECEMBER 4, 2007.

BENCHMARK DATA

SITE TBM

A CUT "X" SET ON THE NORTH SIDE OF THE CONCRETE BASE OF A LIGHTPOLE IN THE SOUTHWEST PARKING LOT OF THE SITE, LOCATED APPROXIMATELY 30 FEET WEST AND 100 FEET SOUTH OF THE WEST CORNER OF THE BUILDING.
ELEV. 887.80 (NAVD 88)

PAVEMENT

	STANDARD DUTY ASPHALT
	EXISTING PAVEMENT
	CONCRETE PAVEMENT
	STONE

LINE TYPES

	RIGHT OF WAY LINE
	FARM FENCE
	BOARD FENCE
	BOUNDARY LINE
	FLOW LINE
	UNDERGROUND GAS
	UNDERGROUND WATER
	UNDERGROUND ELECTRIC
	UNDERGROUND COMMUNICATIONS
	SANITARY SEWER LATERAL
	SANITARY SEWER MAIN
	ROOF DRAIN
	SUB SURFACE DRAIN
	STORM SEWER MAIN

UTILITY PLAN LEGEND

UTILITIES

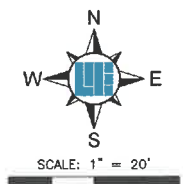
	COMMUNICATIONS JUNCTION BOX
	COMMUNICATIONS MAN-HOLE
	COMMUNICATIONS PEDESTAL
	COMMUNICATIONS RISER
	STORM CLEANOUT
	BEEHIVE INLET
	ROUND INLET
	SQUARE INLET
	STORM MAN-HOLE
	DOWN SPOUT
	SANITARY SEWER CLEANOUT
	SANITARY SEWER MAN-HOLE
	SPRINKLER
	SPIGOT
	WATER METER
	WATER VALVE
	GAS METER
	GAS VALVE
	ELECTRIC OUTLET
	ELECTRIC METER
	ELECTRICAL RISER
	TRANSFORMER

OTHER

	SIGN
	POST
	GATE POST
	BOLLARD
	PARKING WHEEL STOP
	ACCESSIBLE SPACE
	CURB & GUTTER ELEVATION
	PAVEMENT SPOT ELEVATION
	GROUND SPOT ELEVATION
	EXISTING SPOT ELEVATION
	EMERGENCY FLOOD ROUTE
	FLOW DIRECTION AND SLOPE
	FIRE DEPT HOOKUP
	FIRE HYDRANT
	POST INDICATOR VALVE
	GUY ANCHOR
	ELECTRIC JUNCTION BOX
	UTILITY POLE
	UTILITY POLE W/ TRANSFORMER
	STREET LIGHT
	PARKING LOT LIGHT (1 HEAD)

ABBREVIATIONS

ROW	RIGHT OF WAY
ESMT	EASEMENT
D&UE	DRAINAGE AND UTILITY EASEMENT
FFE	FINISH FLOOR ELEVATION
TC	TOP OF CURB
GUT	GUTTER
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
SSD	SUB SURFACE DRAIN PIPE
STM	STORM
SAN	SANITARY
STR	STRUCTURE
CO	CLEANOUT



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DRAWN BY	TAS
DESIGNED BY	TAS
CHECKED BY	TAS
DATE	06/27/2016

06/27/2016
TAYLOR ALAN SCHEPPERS
REGISTERED PROFESSIONAL ENGINEER
STATE OF INDIANA
No. 1210918

PREPARED FOR:
PARK CHAPEL CHRISTIAN CHURCH
1176 E MCKENZIE ROAD, GREENFIELD, IN 46140

SHEET NO.
C800
PROJECT NO.
W25.0106

UTILITY PLAN
Part of the S&M of Section 28, Township 18 North, Range 7 East, Center Township, Hancock County, Indiana.